



# Zoning Clearance (Verification) Application Packet for Residential Modifications / Change of Use

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*City of Glendale • Development Services • Planning Division*  
5850 West Glendale Avenue, Glendale, AZ 85301 • (623)930-2800  
[www.glendaleaz.com/work/planning\\_zoning](http://www.glendaleaz.com/work/planning_zoning)

1. No application request shall be accepted unless it includes the required information and plans detailed below and is accompanied by the appropriate fee.
2. An application may be filed by the owner of the property or his/her authorized agent, or by a lessee who holds a lease with terms that permit the uses/structures applied for. Regardless of who is submitting the application, the property owner and the applicant shall sign the application.
3. Site plans are required to be prepared in compliance with the minimum required plans standards attached to this application.
4. For your convenience, a checklist of required application materials is attached to this Zoning Clearance (Verification) Application.
5. Issuance of a Zoning Clearance (Verification) does not guarantee issuance of a Building Permit from the Building and Safety Division, or related permits and/or licenses from other local and state agencies.
6. Property owners are encouraged to reach out to their Homeowner's Association (HOA) or Property Owner's Association (POA) to verify if HOA/POA has different standards/design criteria.
7. Prior to filing a Zoning Clearance (Verification), you are required to submit a Planning Service Request through the Planning Portal. This can be done by using the link below.

## PLANNING SERVICE REQUEST

8. The processing of Zoning Clearances (Verification) may take up to 10 business days from time of payment to completion of application.



### **General Requirements for Zoning Clearance (Verification) Site Plan**

1. **Digital Plans** – A digital copy of all plans shall be submitted to the Planning Division.
2. **North Arrow** – Show north arrow on the bottom of site plan.
3. **Property Information** –Include the following information:
  - a. Assessor’s Parcel No. – Obtain from tax bill or Assessor’s Office.
  - b. Site Address – If no address assigned, use nearest cross streets.
  - c. Property Zoning Classification
4. **Location Map** –Include the following on the site plan:
  - a. Existing street pattern with names (from the first public road). If the property is more than ½ mile to the nearest public road, note approximate distance.
  - b. Highlight proposed structure, e.g. with cross-hatching.
  - c. Show general location of existing and proposed structures and delineate any outdoor storage areas.
5. **Building Identification and Proposed Improvements** - Each building and structure shall be labeled and referenced on the required site plan.

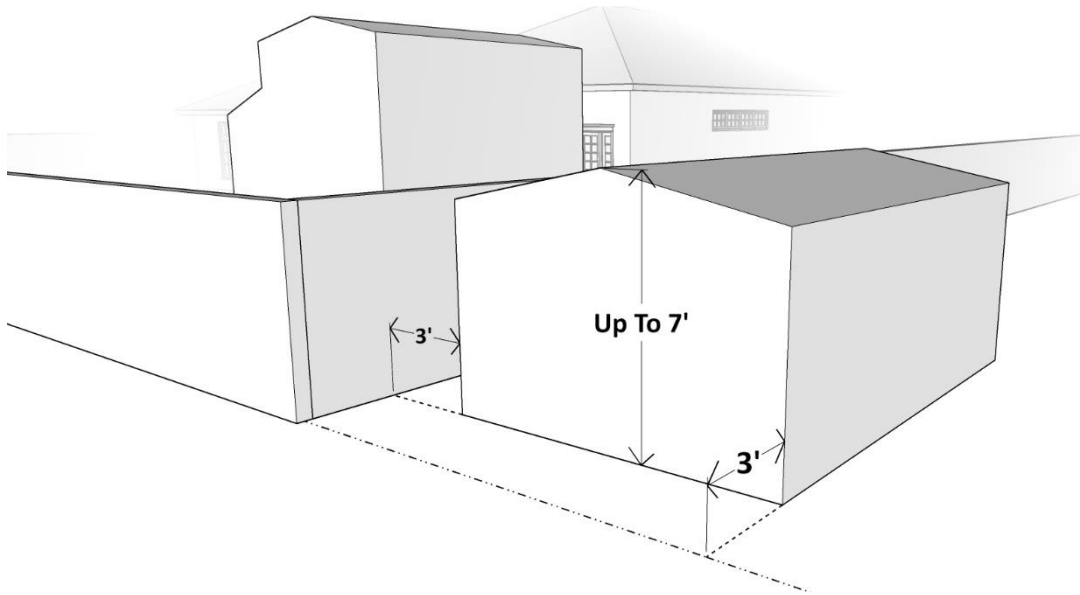
### **Specific Requirements for Site Plans (see attached example Site Plan)**

1. **Property Lines and Setbacks** – Show property lines and their legal dimensions; required setback lines around property; and distances to existing and proposed structures.
2. **Adjacent Streets** – Adjacent Street Location and Names
3. **Access/travel easements to and through the site and alleys servicing the parcel** – Show configuration and dimensions.
4. **Covered parking structures** (garages and carports) and uncovered parking spaces.
5. **Roof Coverage of all existing and proposed structures** – Label the structure same as “Bldg. Sq. Ft. Data” entry.
6. **Show footprint of all existing and proposed “flatwork”** – Driveways, patios, decks, pools, spas, ponds, required uncovered parking spaces, etc.
7. **Designate the use of all proposed and existing structures.**
8. **Show distances between all existing and proposed buildings.**
9. **Complete Development Data Table**

**Unified Development Code (UDC) Regulations**

**Accessory Structure Development Standards:**

1.



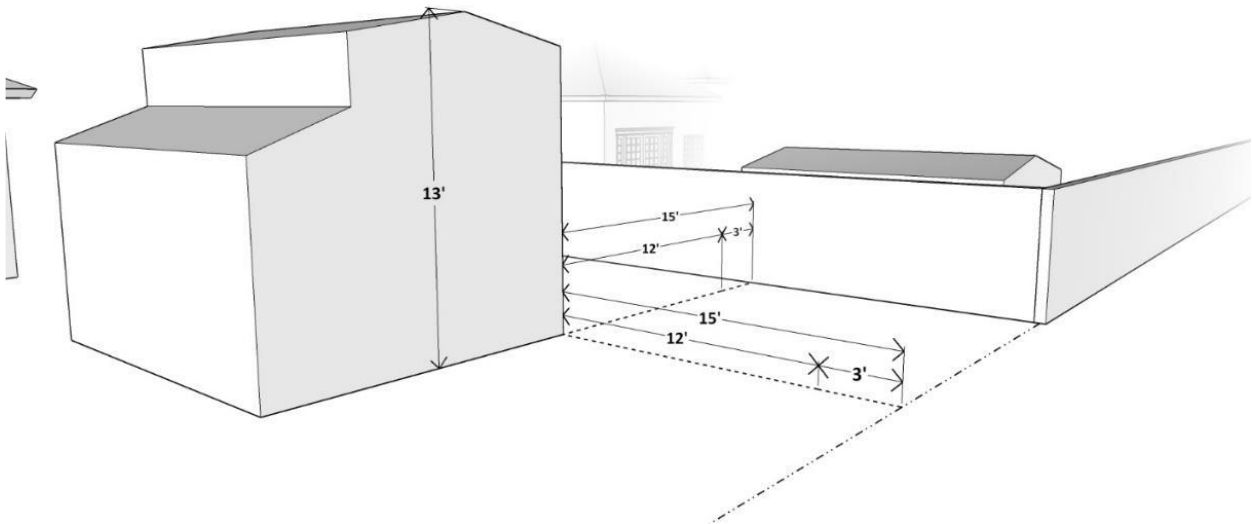
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2. For each foot over seven (7) feet in height, the side and rear setbacks for accessory buildings and structures shall be increased by two (2) feet, up to a maximum of the

*If the structure is attached to the principal building and is accessible from the principal building, such structure shall be considered a home addition.*

*If the structure is attached to the principal building but is not accessible from the principal building, such structure shall be considered an ADU.*

principal building setback requirements. *For example, a thirteen (13) foot tall accessory building shall require a minimum side or rear setback of fifteen (15) feet,  $((13'-7') \times 2') + 3' = 15'$ .*





### 3. Exceptions

- a. Movable and/or manufactured structures such as children’s play equipment, trash enclosures, tool / storage sheds, and pet shelters smaller than 120 square feet in area and less than six (6) feet in height may be placed within a required rear or side yard setback, but not in a required landscape setback as specified in Section 35.4.100, and behind a property screen wall or behind the nearest front plane of the principal building where such a wall does not exist. In no event shall the roof of said structures be designed to allow water to drain onto adjacent property.
- b. Rear yard setbacks for accessory buildings and structures in residential zoning districts shall be zero when an alley is present at the rear yard adjacent to another residential property. This shall be applicable to properties located within conventional subdivisions as well as to those within planned projects (i.e. PRD or PAD).
- c. In the A-1 zoning district or for any non-single-family residential use or non-residential use in any district, accessory buildings and structures may be located in the front yard, but shall adhere to the required front setback.

### Size Requirements

Per Section 35.3.203.C of the UDC, the following are the accessory structure size requirements:

1. Maximum height of accessory buildings and structures in the R1, RR and SR zoning districts is sixteen (16) feet. Accessory buildings and structures in the A-1 zoning district shall have a maximum building height of twenty (20) feet. In all other districts, accessory buildings and structures shall not exceed the height of the principal building.
2. The maximum gross floor area of any accessory building or structure shall not exceed 50% of the building footprint of the principal building.
3. Accessory buildings and structures, including tool/storage sheds, shall be included in lot coverage calculations for all zoning districts.

### Appearance Requirements

Per Section 35.3.203.D of the UDC, the following are the accessory structure appearance requirements:

1. Accessory buildings and structures shall be constructed of materials that have a visual appearance that is similar or complimentary to the principal structure in treatment and color. Common movable and/or manufactured structures such as children’s play equipment, trash enclosures, tool / storage sheds, and pet shelters are exempt from this requirement.



# PLANNING APPLICATION

## Zoning Clearance (Verification)

SR# \_\_\_\_\_

Project Address:		<b>Select Application Type:</b>  <input type="checkbox"/> Residential <input type="checkbox"/> Accessory Dwelling Unit <input type="checkbox"/> Garage Conversion <input type="checkbox"/> Circular Drive <input type="checkbox"/> Custom SFR (New Build) <input type="checkbox"/> Detached Structure (over 7 ft peak ht) <input type="checkbox"/> Exist Home Addition
Property Zoning:	Assessor's Parcel No.:	
Subdivision/ Lot No.		
Property Owner Name:		
Owner's Address:		
Phone #:		
Email Address:		
Applicant Name: (if not property owner)		
Applicant Address:		
Phone #:		
Email address:		<b>Zoning Fee:</b>  <b><u>\$ 144.00</u></b>

*Applicant acknowledges that the City of Glendale requires the following items be submitted before the application can be processed; and that Planning will not accept the submittal unless all of the following items are included:*

**PROVIDE ALL OF THE FOLLOWING:**

1.	<b>X</b>	Completed Master Application
2.	<b>X</b>	Detailed Project Narrative (addressing scope of work)
3.	<b>X</b>	Site Plan (See example site plan with required information)
4.		Elevations

*I have read and understood the item listed in the Zoning Clearance Packet. I certify that the modifications I propose will not violate any of the items listed in said packet. I agree to conduct my property in accordance with the items before mentioned, and I understand that City Staff may perform periodic inspections to determine compliance. Upon approval of this zoning clearance form, please proceed forward and communicate with Development Service Center for building permit submittal.*

**Applicant/Property Owner Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

## PLAN FOR ADDITIONS/MODIFICATIONS

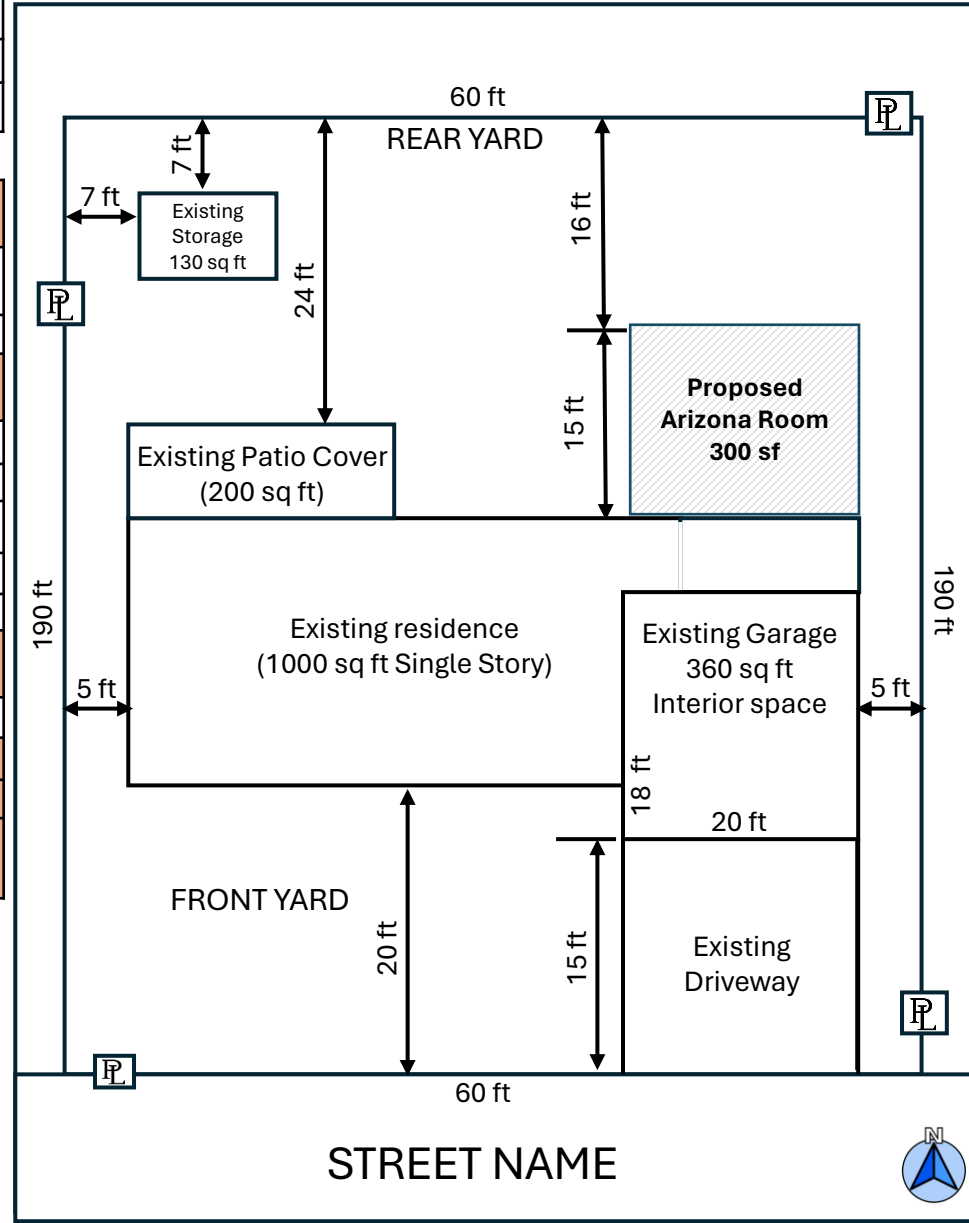
### PROPERTY INFORMATION

Parcel Number:	801-33-678
Property Address:	5555 West Glendale Avenue, Glendale, AZ 85301
Zoning District:	R1-6

### DEVELOPMENT DATA TABLE

Existing Principal Structure	Square Feet Under Roof
Includes House, attached Garage/Car Port, Patio Covers and Covered Front Porch	1,560
<b>TOTALS</b>	<b>1,560</b>
Existing Detached Accessory Structures	Square Feet Under Roof
Detached Garage/Car Port	
Shed	
Workshop/Other Accessory Structure	130
Detached Patio Cover	
<b>TOTALS</b>	<b>130</b>
Proposed Addition/Modification	Square Feet Under Roof
Addition of Arizona Room	300
<b>Total Area Under Roof</b>	<b>1,990</b>
<b>Lot Size (In Square Feet)</b>	<b>11,400</b>
<b>Total Lot Coverage (40% Max)</b> (Total Area Under Roof ÷ Lot Size=)	<b>17 %</b>

Setbacks	Feet From Property Line
Front: living area/side entry garage; front entry garage	15 / 20
Side 1:	5'
Side 2:	5'
Rear:	15'
Notes: Home built prior to 6/22/93	





# ZONING CLEARANCE (VERIFICATION) SITE PLAN FOR ADDITIONS/MODIFICATIONS

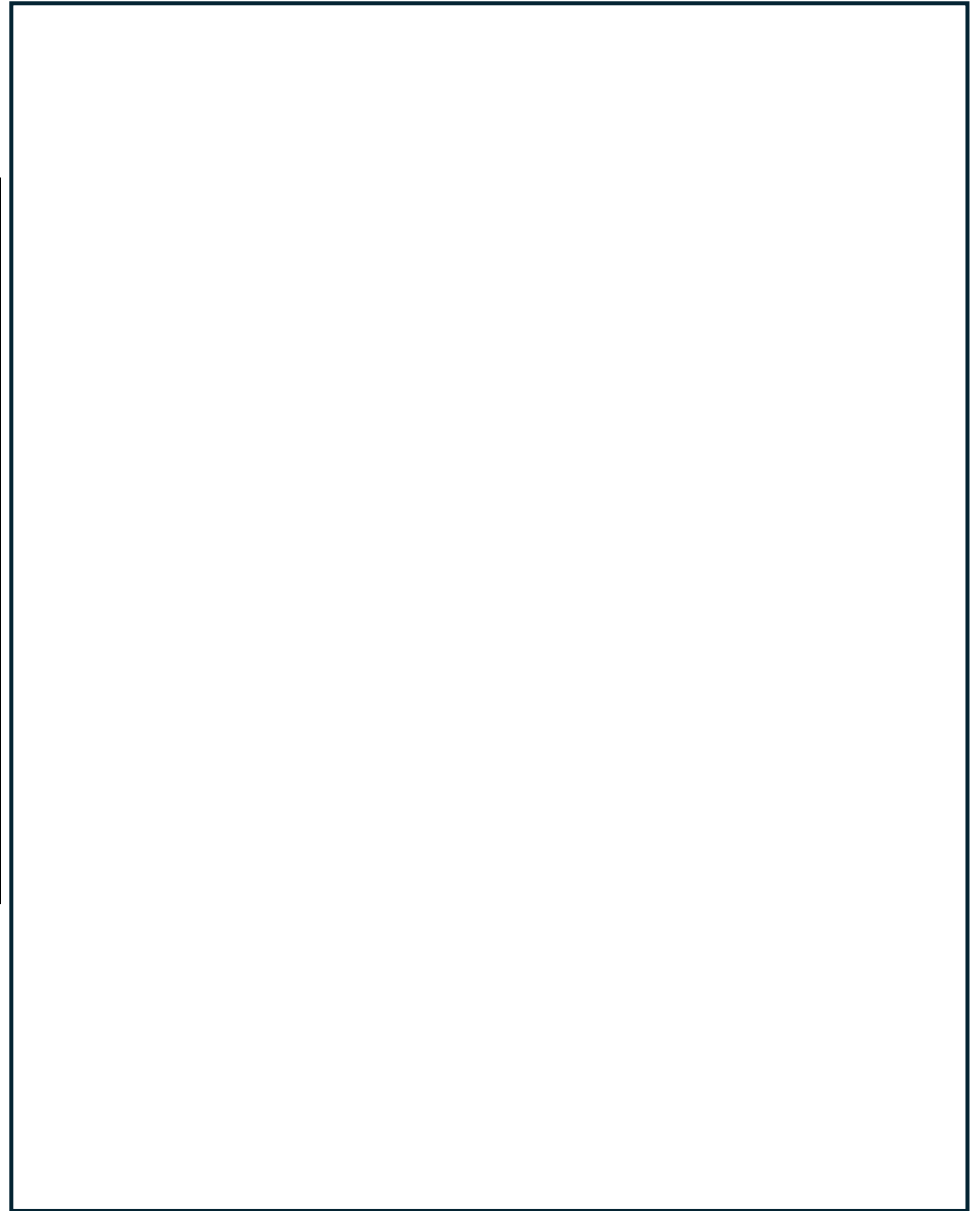
## PROPERTY INFORMATION

Parcel Number:	
Property Address:	
Zoning District:	

## DEVELOPMENT DATA TABLE

Existing Principal Structure	Square Feet Under Roof
Includes House, attached Garage/Car Port, Patio Covers and Covered Front Porch	
TOTALS	
Existing Detached Accessory Structures	Square Feet Under Roof
Detached Garage/Car Port	
Shed	
Workshop/Other Accessory Structure	
Detached Patio Cover	
TOTALS	
Proposed Addition/Modification	Square Feet Under Roof
Description:	
Total Area Under Roof	
Lot Size (In Square Feet)	
Total Lot Coverage (Total Area Under Roof ÷ Lot Size=)	

Setbacks	Feet From Property Line
Front:	
Side 1:	
Side 2:	
Rear:	
Notes:	





# SAMPLE ZONING CLEARANCE (VERIFICATION) ELEVATIONS FOR ADDITIONS/MODIFICATIONS

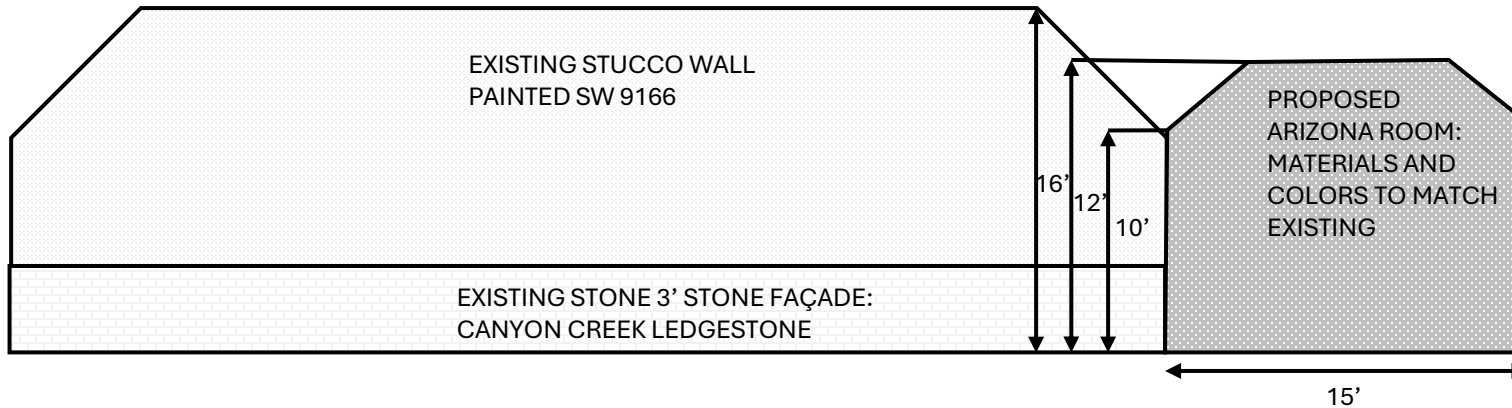
## PROPERTY INFORMATION

Parcel Number:	801-33-678
Property Address:	5555 West Glendale Avenue, Glendale, AZ 85301
Zoning District:	R1-6

## DEVELOPMENT DATA TABLE

Existing Principal Structure	Description
Max Height:	30'
Wall Material(s):	Stucco/stone façade
Wall Color(s):	SW 9166 / Canyon Creek LedgeStone
Roof Material:	Tile
Roof Color:	Adobe
Accessories:	Pella Windows and Door

Proposed Modifications	Description
Max Height:	12'
Wall Material(s):	Stucco/stone façade
Wall Color(s):	SW 9166 / Canyon Creek LedgeStone
Roof Material:	Tile
Roof Color:	Adobe
Accessories:	Pella Windows and Door



East Elevation

NOTES: NO STONE  
FAÇADE AS  
ADDITION WILL BE  
BEHIND 6' CMU  
WALL





# ZONING CLEARANCE (VERIFICATION) ELEVATIONS FOR ADDITIONS/MODIFICATIONS

## PROPERTY INFORMATION

Parcel Number:	
Property Address:	
Zoning District:	

## DEVELOPMENT DATA TABLE

Existing Principal Structure	Description
Max Height: Wall Material(s): Wall Color(s): Roof Material: Roof Color: Accessories:	

Proposed Modifications	Description
Max Height: Wall Material(s): Wall Color(s): Roof Material: Roof Color: Accessories:	